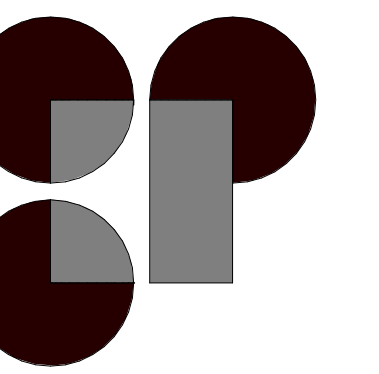


MADISON MIGRANT CENTER - SITE UPGRADES



GELFAND PARTNERS ARCHITECTS

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PROJECT TEAM		
OWNER: YOLO COUNTY HOUSING AUTHORITY 147 W MAIN STREET WOODLAND, CA 95695 T: (530) 662-2240 CONTACT: TOM DOGIAS	CIVIL ENGINEER: LAUGENOUR AND MEKLE 600 COURT STREET WOODLAND, CA 95695 T: (530) 662-1755 CONTACT: TODD TOMMERGAASON	ARCHITECT: GELFAND PARTNERS ARCHITECTS 165 10TH STREET, SUITE 100 SAN FRANCISCO, CA 94103 T: (415) 346-4040 F: (415) 346-4103 CONTACT: AUSTEN DILBERTO

PROJECT INFORMATION
ADDRESS: 12345 67TH AVENUE SAN FRANCISCO, CA
AREA: 13.53 ACRES
AREA:
PARCEL NUMBER: 049-462-008
(E) BUILDING OCCUPANCY: R2
(E) NUMBER OF BUILDINGS: 47
(E) BUILDING TYPE: VB
(E) NUMBER OF UNITS: 89 (INCL. MANAGER UNIT)
(E) FIRE SPRINKLERS: NO
(E) NUMBER OF MOBILITY UNITS: 5 (5%)

SCOPE OF WORK
1. REMOVE EXISTING STAIR STOOPS AT EACH UNIT ENTRY 2. REMOVE (E) NON-COMPLIANT UNIT ENTRY RAMPS 3. PROVIDE NEW CODE COMPLIANT STAIR STOOPS AT EACH UNIT ENTRY 4. PROVIDE NEW CODE COMPLIANT ENTRY RAMPS AS SHOWN, AT ACCESSIBLE UNITS 5. REMOVE (E) BASKETBALL COURT AND BASKETBALL HOOPS 6. PROVIDE NEW ASPHALT BASKETBALL COURT, HOOPS, STRIPING, AND FENCES 7. REPAIR & RESTRIPE ACCESSIBLE PARKING STALLS WHERE SHOWN

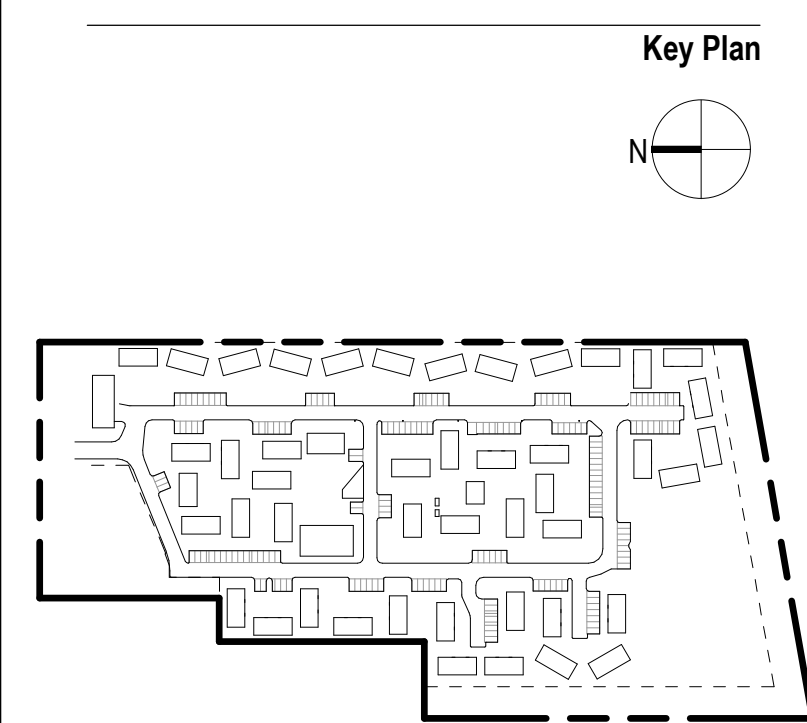
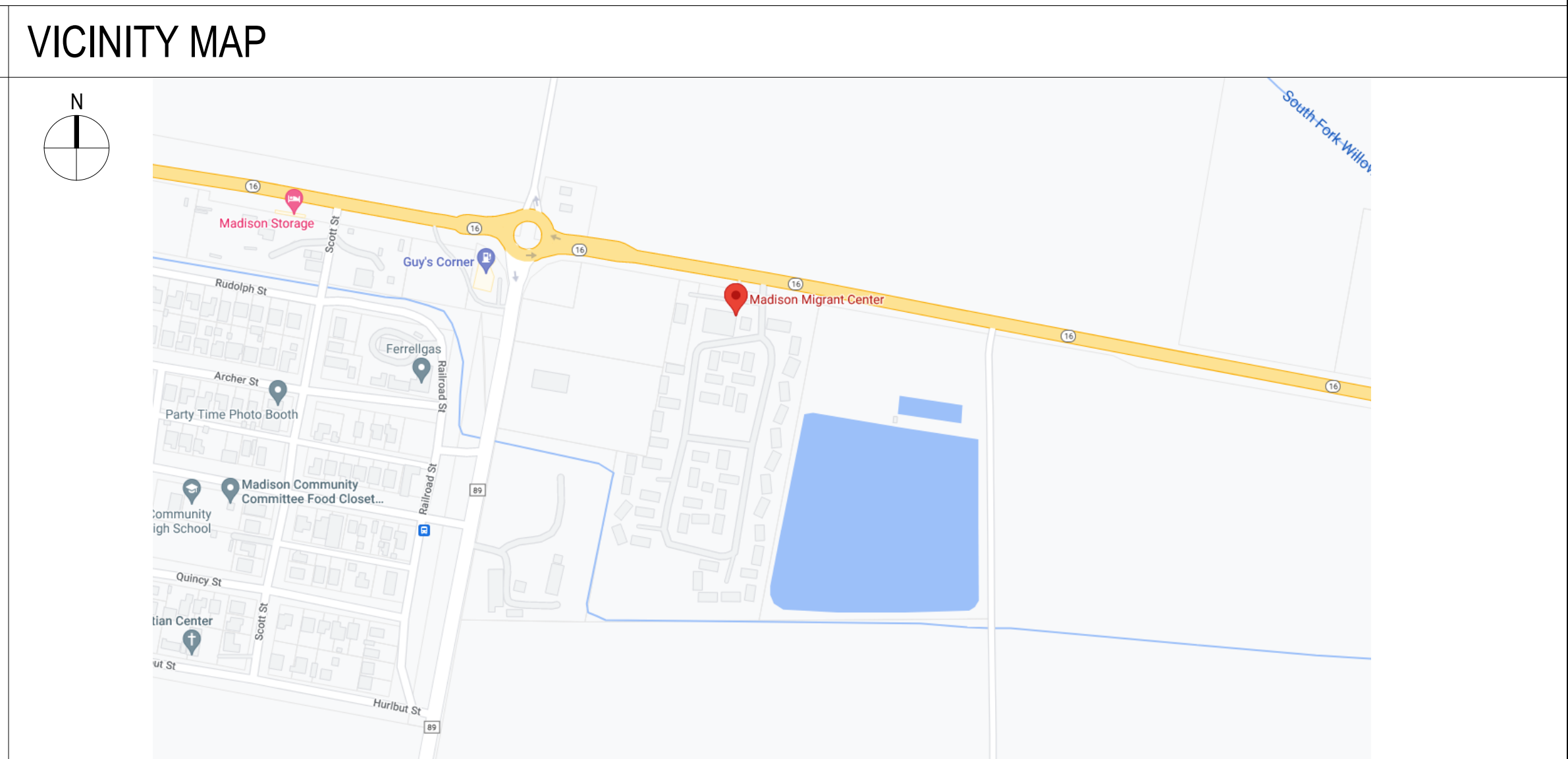
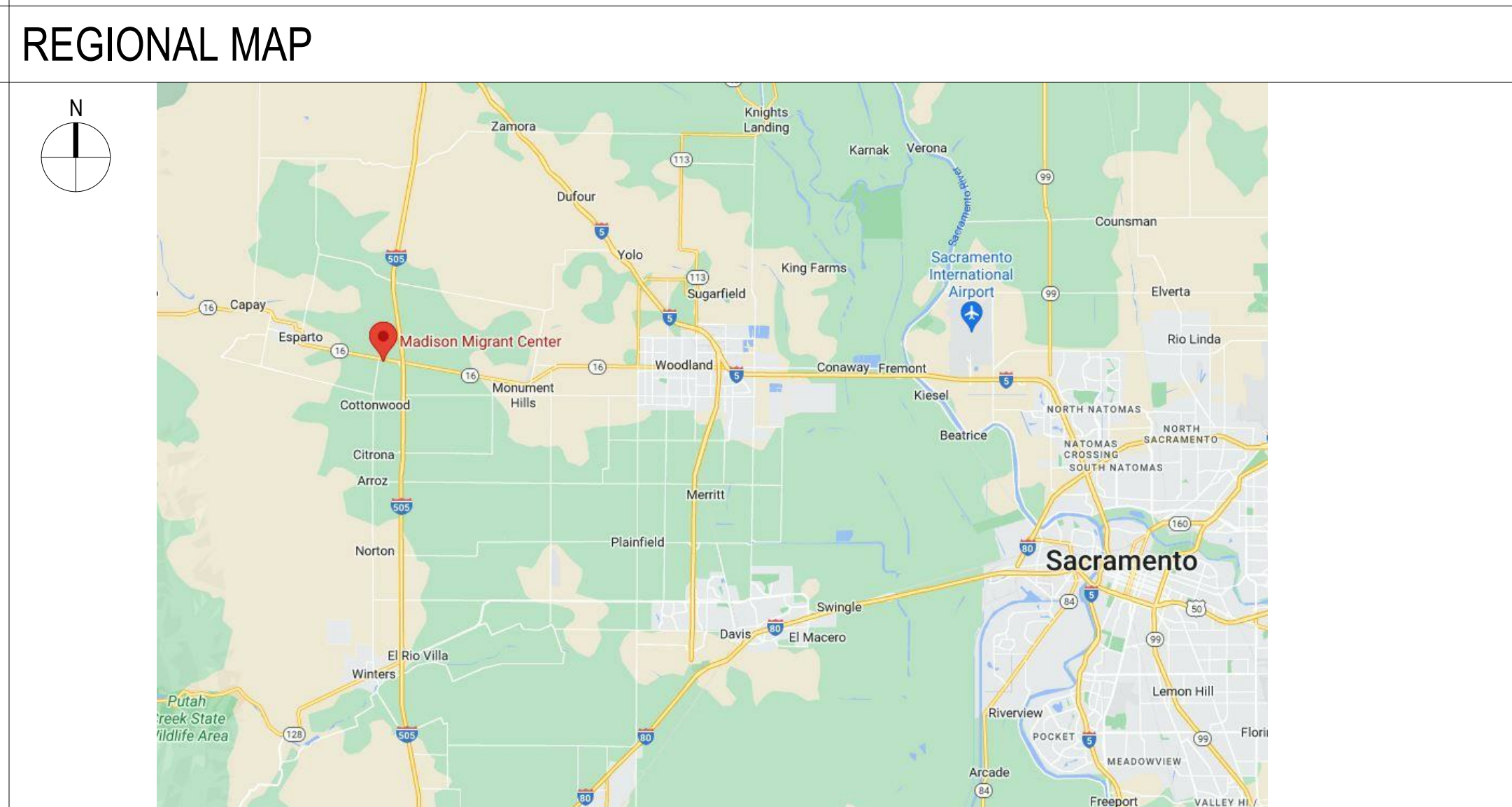
PROJECT NOTES
1. COORDINATE LAYOUT DIMENSIONS INDICATED ON THE STRUCTURAL ELECTRICAL DRAWINGS WITH THOSE INDICATED ON THE ARCHITECTURAL DRAWINGS. REPORT ALL DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. 2. IN THE EVENT THAT CERTAIN FEATURES OF THE NEW CONSTRUCTION ARE NOT FULLY SHOWN IN THE CONSTRUCTION DOCUMENTS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS SIMILAR CONDITIONS THAT ARE SHOWN. 3. CHECK AND VERIFY ALL DIMENSIONS, ELEVATIONS AND EXISTING CONDITIONS ON THE PROJECT SITE BEFORE THE WORK BEGINS. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES TO THE CONDITIONS SHOWN IN THE CONTRACT DOCUMENTS BEFORE CONSTRUCTION BEGINS. 4. EXISTING CONDITIONS SHOWN ON THE DRAWINGS WERE OBTAINED FROM THE OWNER-PROVIDED SURVEY DRAWINGS. THE ORIGINAL SURVEYS ARE PROVIDED AS A REFERENCE TO THESE BID DOCUMENTS. VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ALL DEVIATIONS BEFORE PROCEEDING WITH THE WORK. 5. GELFAND PARTNERS ARCHITECTS HAS PREPARED THESE DOCUMENTS ONLY FOR THE IMPROVEMENTS SPECIFIED, DETAILED, INDICATED, OR SHOWN AS NEW WORK AND ASSUMES NO RESPONSIBILITY FOR OTHER CONSTRUCTION, MATERIAL, OR EQUIPMENT NOTED, INDICATED, OR SHOWN AS "EXISTING" OR AS "PROVIDED BY OTHERS," UNLESS OTHERWISE INDICATED OR NOTED. GELFAND PARTNERS ARCHITECTS HAS NEITHER CHECKED NOR VERIFIED THE STRUCTURAL INTEGRITY, QUALITY OF CONSTRUCTION, ACCESSIBILITY TO, EGRESS FROM, OR DESIGN OF THE EXISTING CONSTRUCTION AND ANY OTHER WORK NOT INCLUDED AS PART OF THE IMPROVEMENTS SPECIFIED, DETAILED, OR SHOWN ON THESE DOCUMENTS. 6. PROVIDE U.L. GA, CBC, OR EQUAL LISTING NUMBERS FOR ALL FIRE-RATED CEILING / FLOOR, ROOF, WALL, AND STRUCTURAL FRAME ASSEMBLIES. THE COMPONENTS AND INSTALLATION DETAILS SUCH AS NAILING SCHEDULES SHALL BE AS SHOWN ON PLANS AND MUST CONFORM IN EVERY PARTICULAR WITH THE U.L. GA, CBC, OR EQUAL LISTING NUMBERS SPECIFIED. CUSTOM DESIGNS WHICH COMBINE COMPONENTS FROM DIFFERENT APPROVED DESIGNS BUT HAVE NOT BEEN TESTED AS A COMPLETE ASSEMBLY WILL NOT BE ACCEPTABLE. 7. PENETRATIONS OF PIPES, CONDUITS, ETC., IN WALLS REQUIRING PROTECTED OPENINGS SHALL BE FIRE STOPPED. FIRE STOP MATERIAL SHALL BE A TESTED ASSEMBLY APPROVED BY THE STATE FIRE MARSHAL. 8. ADEQUATE ENGINEERING OBSERVATION AND TESTING SHALL BE PROVIDED DURING CONSTRUCTION BY INSPECTOR OF RECORD PER TITLE 24. 9. DO NOT SCALE DIMENSIONS FROM PLANS. USE WRITTEN DIMENSIONS. WHERE NO DIMENSION IS PROVIDED, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS. 10. DRAWINGS AND SPECIFICATIONS REPRESENT FINISHED CONSTRUCTION. U.O.N. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF CONSTRUCTION. 11. NO DEVIATION FROM THE APPROVED DRAWINGS AND SPECIFICATIONS IS PERMITTED WITHOUT THE PRIOR CONSENT OF THE ARCHITECT. THE ARCHITECT'S INTERPRETATION OF THESE DOCUMENTS SHALL BE FINAL. 12. LARGER SCALE DRAWINGS GOVERN IN CASE OF CONFLICT WITH SMALLER SCALE DRAWINGS. 13. OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, SPECIFICATIONS, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND RESOLVED BEFORE PROCEEDING WITH THE WORK. 14. FOR ADDITIONAL REQUIREMENTS, SEE SPECIFICATIONS. 15. ALL ITEMS ARE NEW U.O.N. 16. WORK INDICATED AS "OWNER FURNISHED" (O.F.C.I.) SHALL MEET ALL APPLICABLE CODES AND REGULATORY REQUIREMENTS INDICATED WITHIN THESE DOCUMENTS AND SHALL BE INSTALLED AND FULLY OPERATIONAL PRIOR TO THE FINAL APPROVAL AND OCCUPANCY OF THIS PROJECT.

ABBREVIATIONS	
&	AND
∠	ANGLE
@	AT
CL	CENTERLINE
Ø	DIAMETER OR ROUND
#	NUMBER
d	PENNY
(E)	EXISTING
(M)	AIR / CONDITIONING
AC	ACCESS OR ACCESSIBLE
ACCS	ACOUSTICAL CEILING TILE
ACT	AREA DRAIN
ADJ	ADJACENT
AFF	ABOVE FINISH FLOOR
AL	ALUMINUM
ALT	ALTERNATE
ANOD	ANODIZED
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ASTM	AMERICAN SOCIETY FOR TESTING & MATERIALS
AVG	AVERAGE
BD	BOARD
BLDG	BUILDING
BLK	BLOCK, BLOCKING
BOT	BOTTOM
BTW	BETWEEN
BUR	BUILT-UP ROOF
CAB	CABINET
CB	CATCH BASIN
CT	CERAMIC TILE
CI	CAST IRON
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
DBL	DOUBLE
DEMO	DEMOLISH
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DN	DOWN
DR	DOOR
DWG	DRAWING
EA	EACH
ELEV	ELEVATION
ELEC	ELECTRICAL
EXT	EXTERIOR
FAB	FABRICATE
FACP	FIRE ALARM CONTROL PANEL
FAR	FLOOR AREA RATIO
FD	FLOOR DRAIN
FN	FOUNDATION
FE	FIRE EXTINGUISHER
FFE	FINISHED FLOOR ELEVATION
FIN	FINISH (ED)
FIXT	FIXTURE
FLEX	FLEXIBLE
FLR	FLOOR
FLUOR	FLUORESCENT
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOS	FACE OF STUD
FT	FEET, FOOT
FTG	FOOTING
GA	GALLON
GAL	GALLON
GALV	GALVANIZED
GEN	GENERAL
GFCI	GROUND FAULT CIRCUIT INTERRUPTED
GND	GROUNDING
GSM	GALVANIZED SHEET METAL
GYP BD	GYPSUM WALLBOARD
HB	HOSE BIB
HM	HOLLOW METAL
HORZ	HORIZONTAL
HT	HEIGHT
ID	INSIDE DIAMETER (DIM)
IN	INCH
INFO	INFORMATION
INSUL	INSULATION
LAV	LAVATORY
LB	POUND
LF	LINEAR FEET
LN	LINEAR
LTG	LIGHTING
MATL	MATERIAL
MAX	MAXIMUM
MB	MACHINE BOLT
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MS	MACHINE SCREW
N	NORTH
NEG	NEGATIVE
NIC	NOT IN CONTRACT
NO	NUMBER
NTS	NOT TO SCALE
OC	ON CENTER(S)
OD	OUTSIDE DIAMETER
OCFI	OWNER FURNISHED CONTRACTOR INSTALLED
OFI	OWNER FURNISHED & OWNER INSTALLED
PERF	PERFORATED
PERP	PERPENDICULAR
PL	PLATE
PLAM	PLASTIC LAMINATE
PLBG	PLUMBING
PLY	PLYWOOD
PREFAB	PREFABRICATED(D)
PROP	PROPERTY
PSI	POUNDS PER SQUARE INCH
PTD	PAINTED
PT	PRESSURE TREATED
QTY	QUANTITY
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFERENCE
REF	REFERENCE
REF	REFERENCE
REF	REFERENCE
REQD	REQUIRED
RESIL	RESILIENT
RO	ROUGH OPENING
RWL	RAIN WATER LEADER
S	SOUTH
SCD	SEE CIVIL DRAWINGS
SCHED	SCHEDULE, SCHEDULED
SED	SEE ELECTRICAL DWGS.
SF	SQUARE FOOT
SHT	SHEET
SIM	SIMILAR
SLD	SEE LANDSCAPE DWGS.
SMD	SEE MECHANICAL DWGS.
SPD	SEE PLUMBING DWGS.
SPEC	SPECIFICATIONS
SSD	SEE STRUCTURAL DWGS.
SST	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STRT	STRUCTURAL
SUSP	SUSPEND, SUSPENDED
T&G	TONGUE AND GROOVE
THRU	THROUGH
TOC	TOP OF CURB
TP	TOP OF PAVEMENT
TYP	TYPICAL
TW	TOP OF WALL
UN	UNLESS OTHERWISE NOTED
VERT	VERTICAL
VDFG	VERTICAL GRAIN DOUGLAS FIR
W	WEST
WO	WITHOUT
WD	WOOD
WF	WIDE FLANGE (STEEL)
WIN	WINDOW
YD	YARD

SYMBOLS	
	GRID-LINE INDICATION
	ROOM IDENTIFICATION
	ROOM NAME
	ROOM NUMBER
	INTERIOR ELEVATION KEY
	ELEVATION NUMBER
	ELEVATION SHEET
	ELEVATION ORIENTATION
	SECTION KEY
	SECTION NUMBER
	SECTION SHEET
	DETAIL KEY
	DETAIL SHEET
	EXTERIOR ELEVATION KEY
	ELEVATION NUMBER
	ELEVATION SHEET
	DOOR NUMBER
	REFER TO DOOR SCHEDULE
	ASTERISK INDICATES PANIC HARDWARE
	SIGNAGE NUMBER
	REFER TO SIGNAGE SCHEDULE
	SIGN LETTER
	ROOM LETTER
	BUILDING LETTER
	WINDOW NUMBER
	REFER TO WINDOW SCHEDULE
	WALL TYPE
	REFER TO WALL TYPE SHEET
	WALL TYPE (ABOVE TYPICAL WALL)
	REFER TO WALL TYPE SHEET. SEE PLANS, EXTERIOR, & INTERIOR ELEVATIONS FOR LOCATIONS.
	CASEWORK TYPE
	REFER TO CASEWORK SCHEDULE
	WORK POINT (OR CONTROL OR DATUM POINT)
	MATCHLINE
	SHEET KEYNOTE
	PRODUCT KEYNOTE
	PREFIX DESIGNATES SPECIFICATION DIVISION
	ACCESSORY LETTER
	REFER TO ACCESSORY SCHEDULE
	FLUSH TRANSITION BETWEEN ADJACENT SURFACES
	CEILING HEIGHT
	DIMENSION POINT DIM POINT NOTATION IS THE INTERSECTION OF THE CENTER LINES OF THE STUDS OF EACH WALL ASSEMBLY

SHEET INDEX	
General	
A0.00	COVER SHEET
Architectural	
A1.00	SITE DEMOLITION PLAN
A1.01	SITE PLAN
A1.02	ENLARGED RAMP & STAIR STOOP PLAN
A1.03	ENLARGED ACCESSIBLE PARKING PLAN
A1.04	ENLARGED BASKETBALL COURT PLAN
Grand total: 6	

APPLICABLE CODES
Current Codes 2019 Building Standards Administrative Code, Part 1, Title 24 C.C.R. 2019 California Building Code (CBC), Part 2, Title 24 C.C.R. (2009 International Building Code and 2010 California Amendments) 2019 California Electrical Code (CEC), Part 3, Title 24 C.C.R. (2008 National Electrical Code and 2010 California Amendments) 2019 California Mechanical Code (CMC) Part 4, Title 24 C.C.R. (2009 Uniform Mechanical Code and 2010 California Amendments) 2019 California Plumbing Code (PC), Part 5, Title 24 C.C.R. (2009 Uniform Plumbing Code and 2010 California Amendments) 2019 California Energy Code (CEC), Part 6, Title 24 C.C.R. 2019 California Fire Code, Part 9, Title 24 C.C.R. (2009 International Fire Code and 2010 California Amendments) 2019 California Green Building Standards Code (CALGreen), Part 11, Title 24 C.C.R. 2019 California Referenced Standards, Part 12, Title 24 C.C.R. Title 19 C.C.R., Public Safety, State Fire Marshal Regulations.

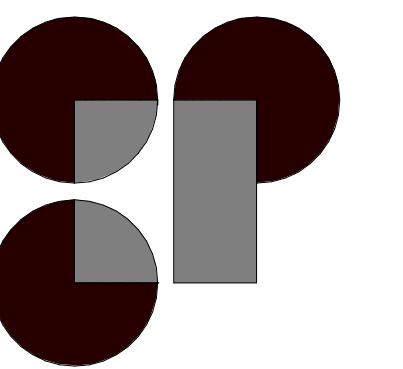


Drawing Record		
Revision Number	Issues/Submission	Date
	SCHEMATIC DESIGN	12/23/22

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Project
Madison Migrant Center
147 W Main Street
Woodland, CA 95695
2215.00
Sheet
COVER SHEET

A0.00



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ARCHITECTS**

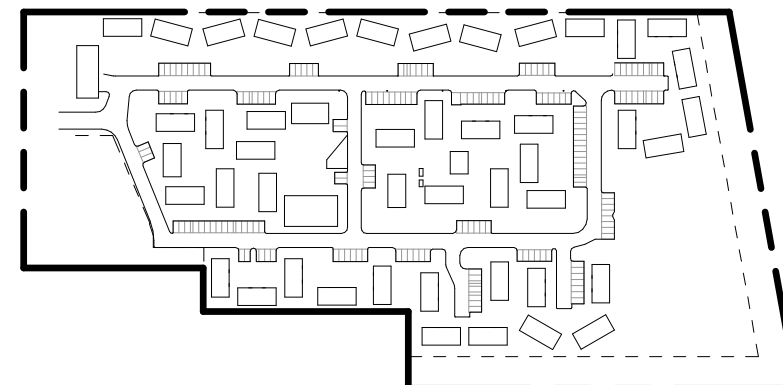
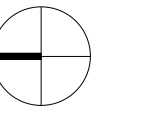
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Consultants

Key Plan



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Project

Madison Migrant Center

147 W Main Street

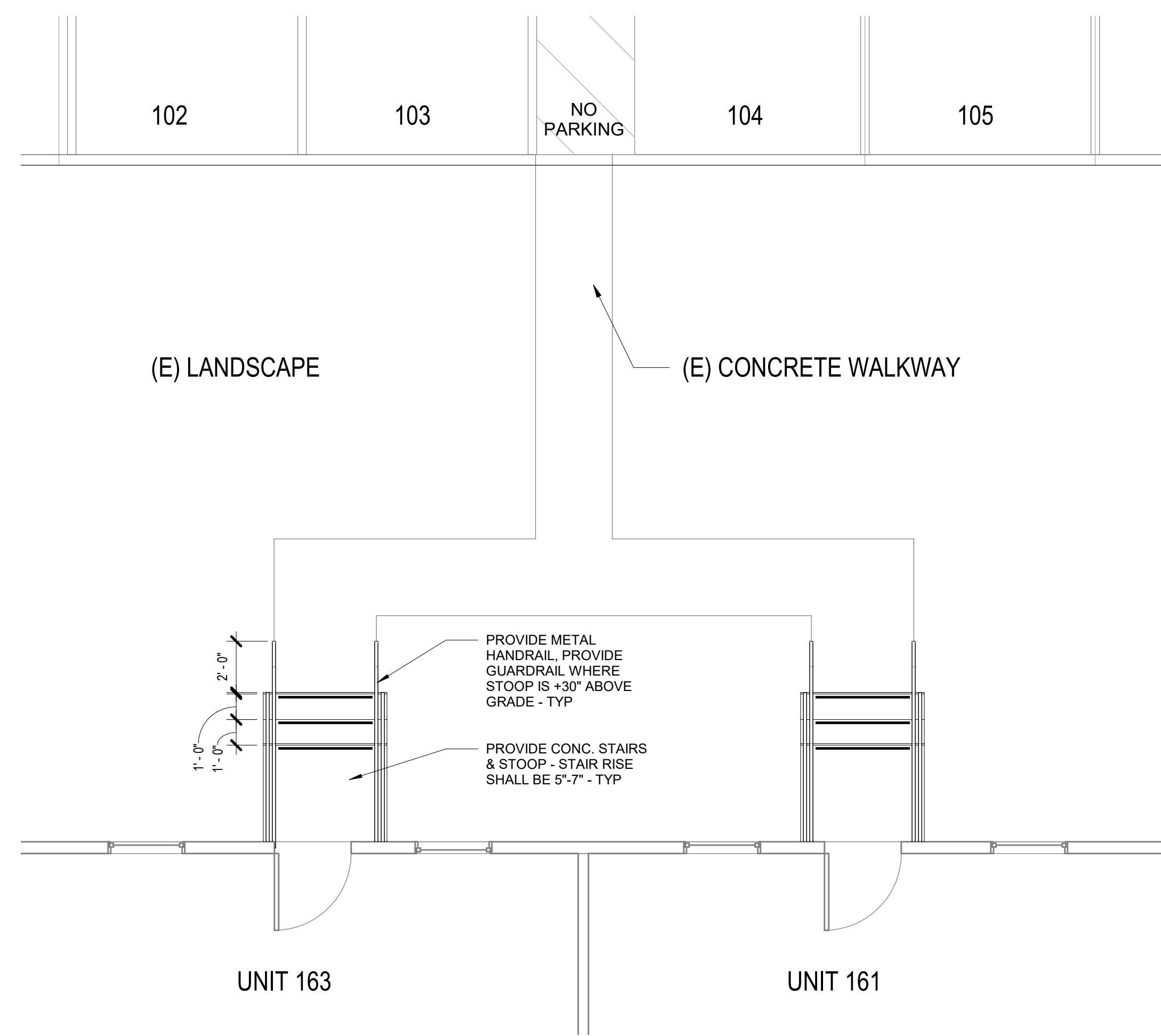
Woodland, CA 95695

2215.00

Sheet

**ENLARGED RAMP &
STAIR STOOP PLAN**

A1.02



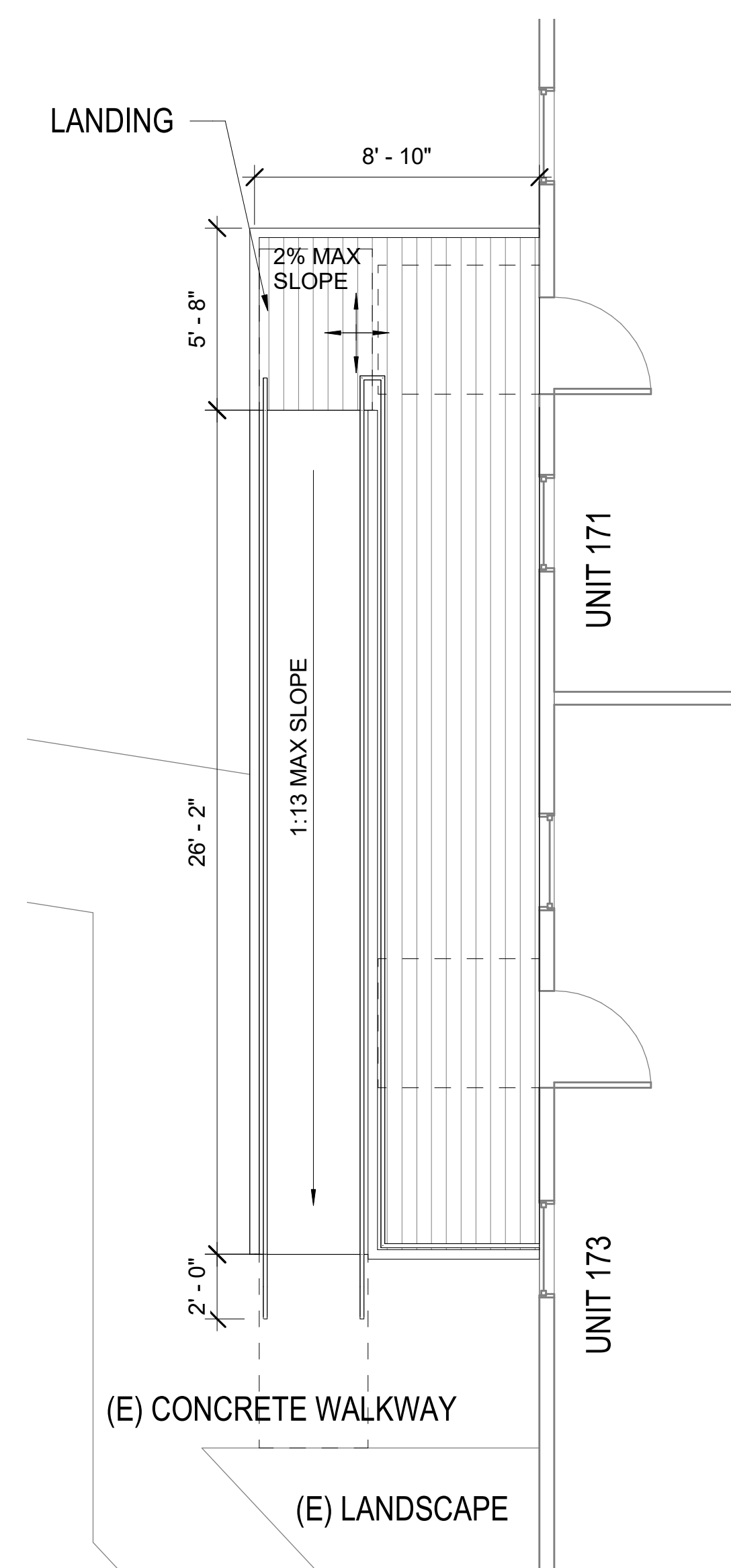
3 ENLARGED STAIRS DETAILS TYP

SCALE: 1/4" = 1'-0"

6 STAIRS IN COMMUNITY BUILDING

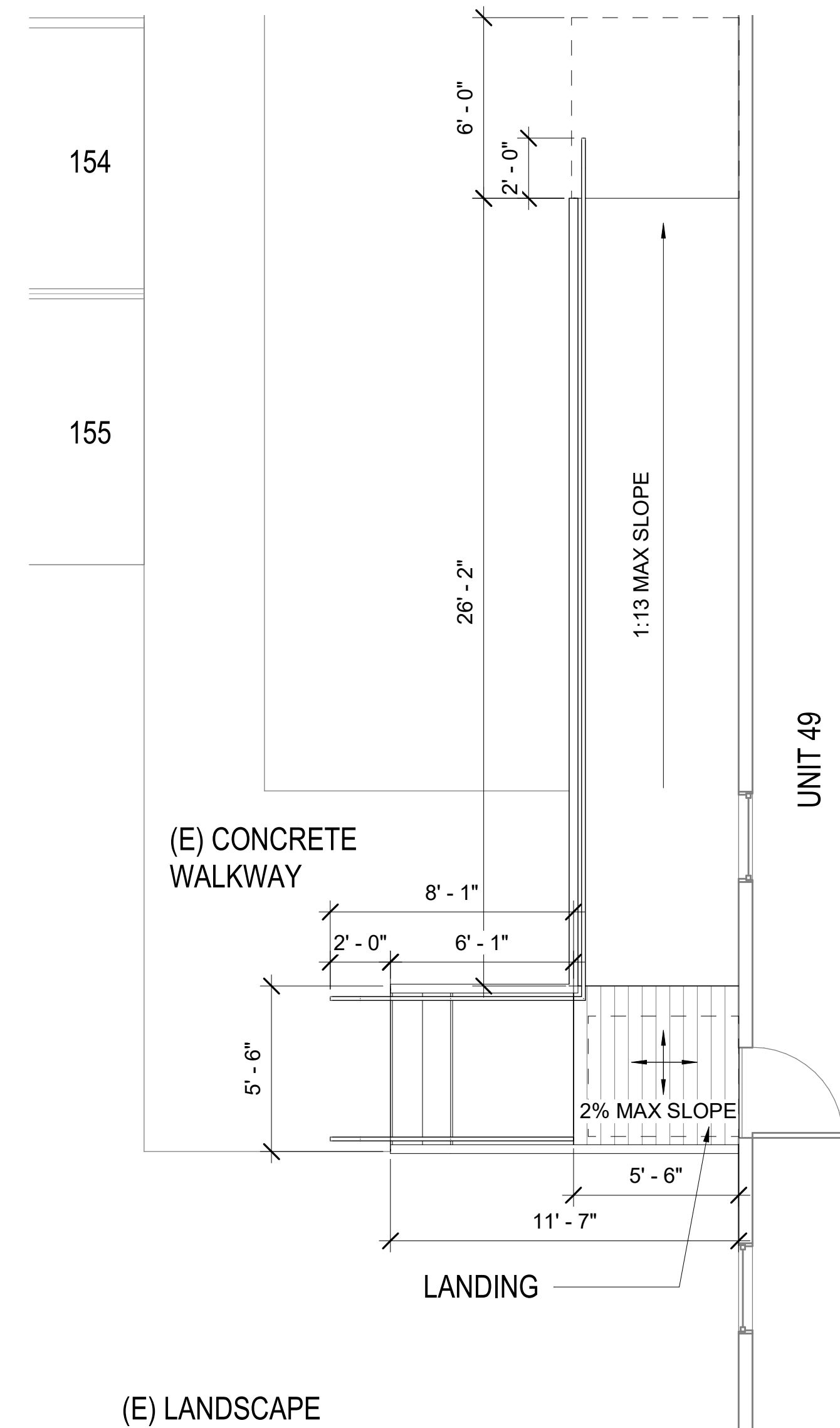
SCALE: 1/4" = 1'-0"

- THE FOLLOWING SCOPE IS APPLICABLE TO RAMP SHOWN ON THIS SHEET:
1. PROVIDE NEW CONCRETE RAMP W/ 1:1.13 MAX SLOPE
 2. PROVIDE NEW METAL HANDRAILS W/ 12" EXTENSIONS
 3. PROVIDE NEW TREX (OR SIM) DECK AT PORCH - STRUCTURE MAY REMAIN IF WOOD MEMBERS ARE NOT DEGRADED.
 4. CONSTRUCTION NEW PRESSURE TREATED STAIRS W/ TREX DECKING. RISE SHALL BE 5'-7".
 5. PROVIDE NEW METAL HANDRAILS W/ CODE REQUIRED EXTENSIONS.
 6. PROVIDE NEW WOOD WOOD & TREX (OR SIM) GUARDRAILS WHERE PORCH IS +30" FROM SURROUNDING GRADE.
 7. PRECISE RAMP LENGTH MAY VARY FROM PLANS DEPENDING ON FIELD CONDITIONS - CONTRACTOR TO VERIFY.



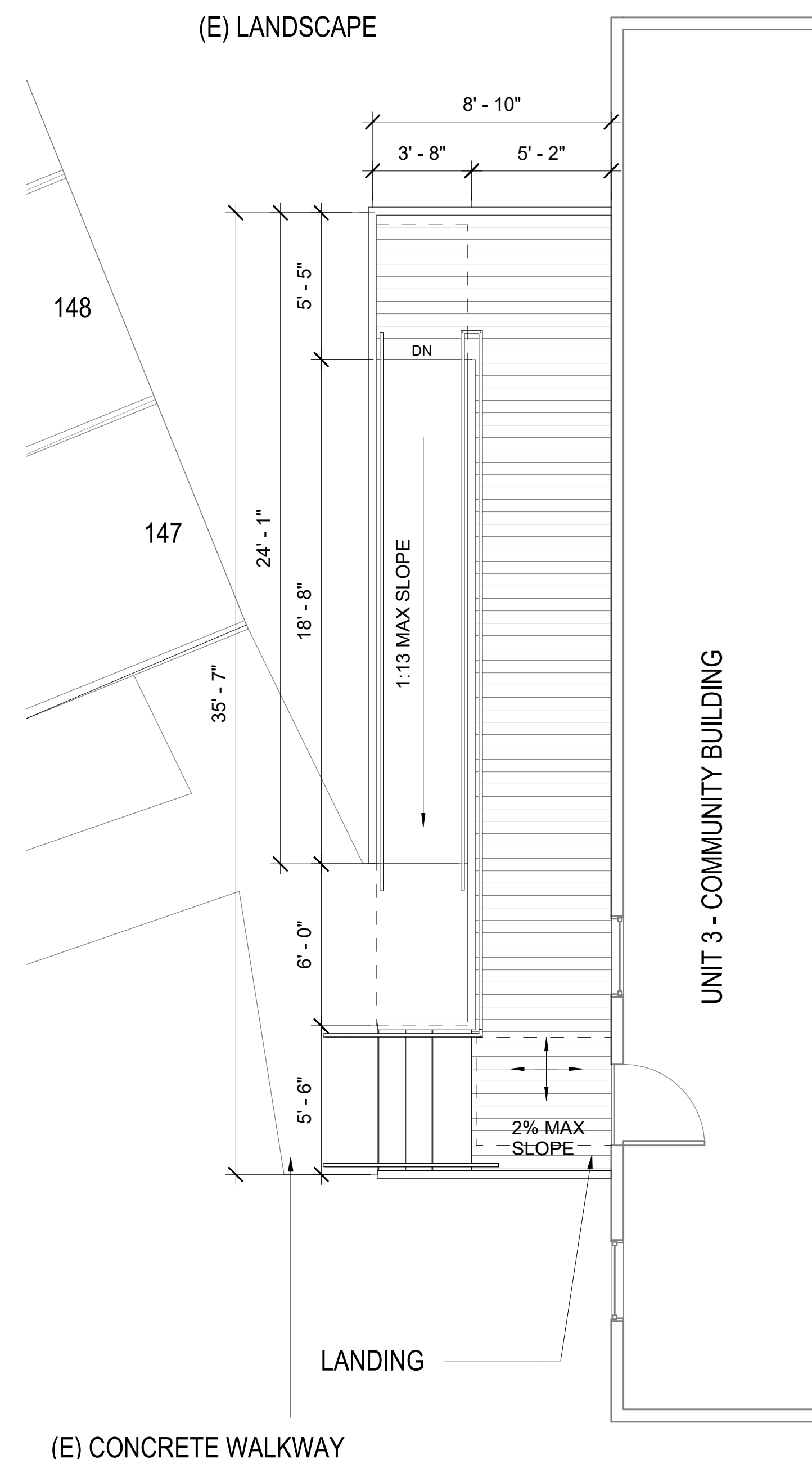
1 ENLARGED RAMP PLAN - TYP AT 21, 22, 23

SCALE: 1/4" = 1'-0"



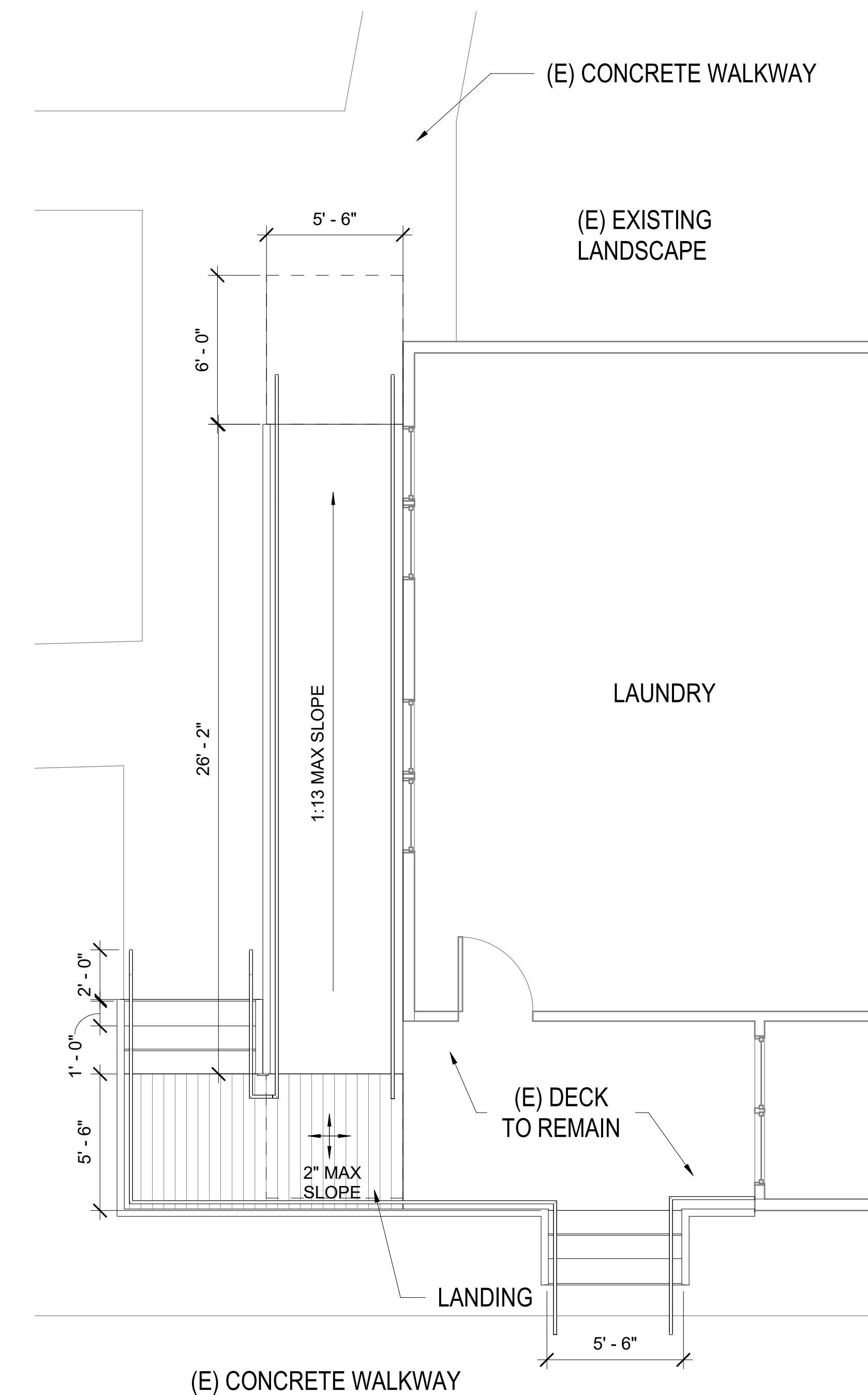
2 RAMP AT UNIT 49

SCALE: 1/4" = 1'-0"



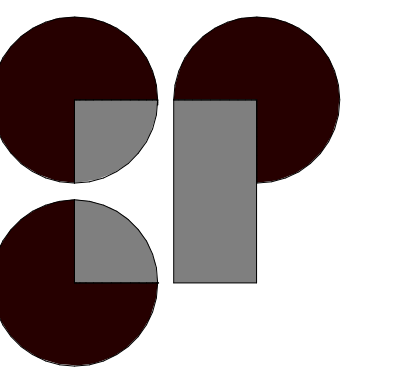
5 RAMP AT COMMUNITY BUILDING

SCALE: 1/4" = 1'-0"



4 RAMP AT LAUNDRY

SCALE: 1/4" = 1'-0"



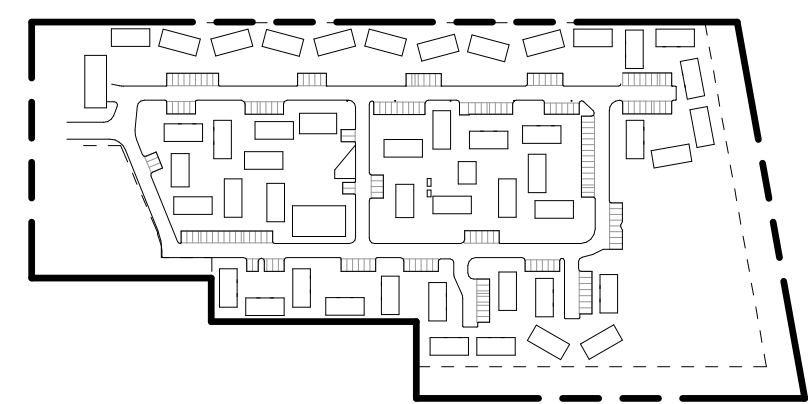
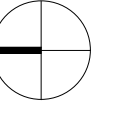
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Key Plan



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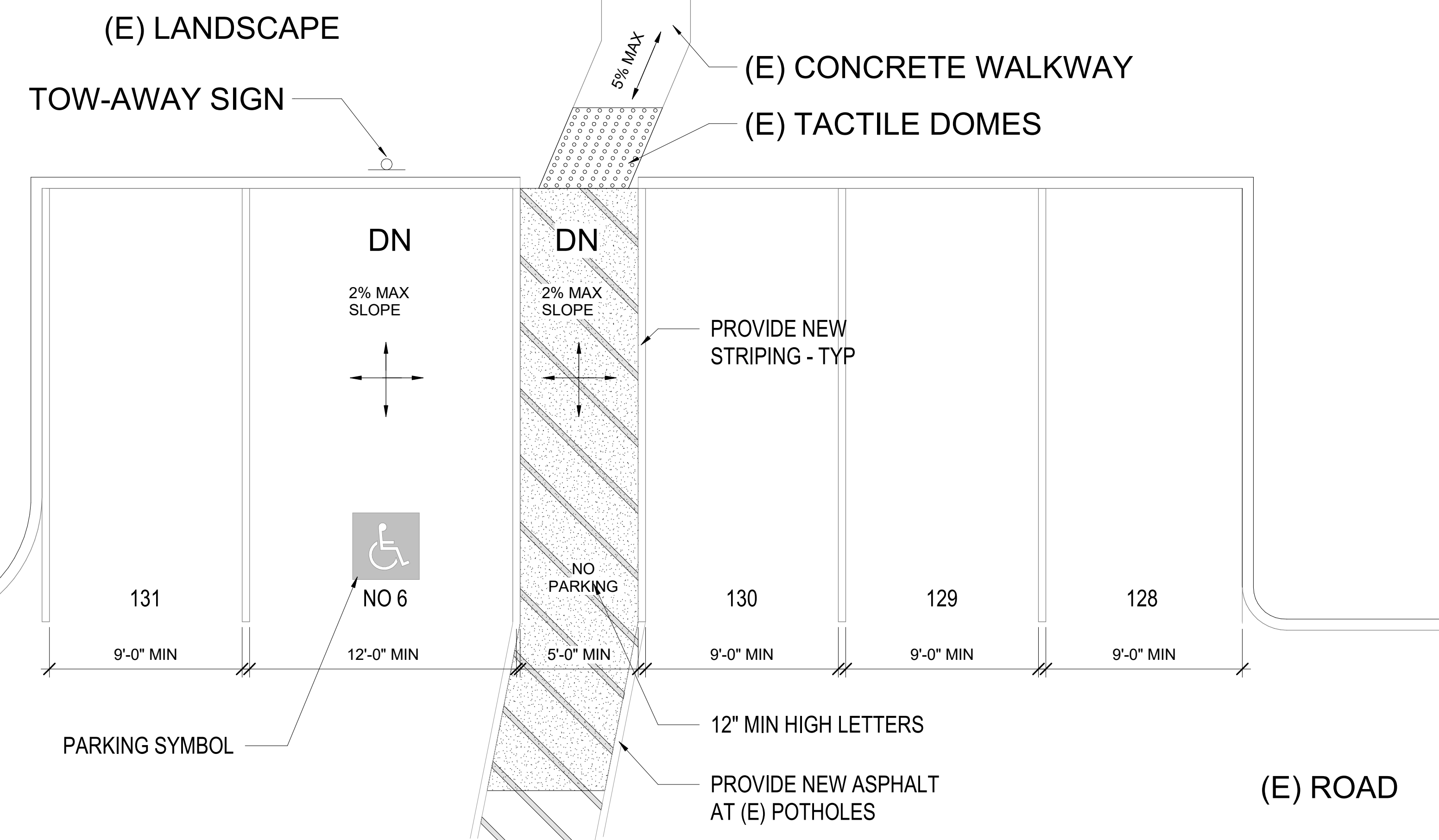
ENLARGED
ACCESSIBLE PARKING
PLAN

A1.03



TOTAL NO OF ACCESSIBLE PARKING SPACES = 7

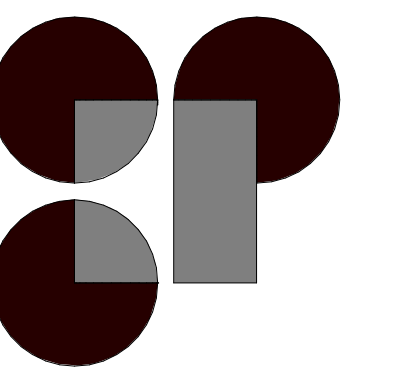
ACCESSIBLE
PARKING SPACES



1 SITE PLAN - ENLARGED ADA PARKING LAYOUT
SCALE: 1/4" = 1'-0"

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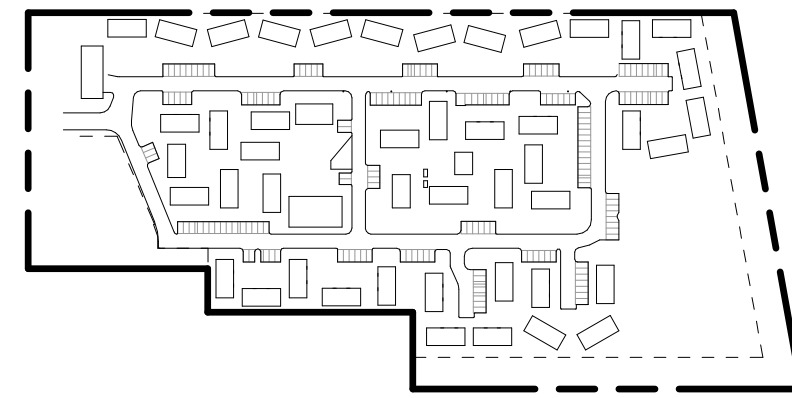
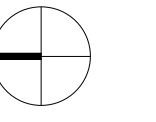
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Key Plan



Drawing Record

Revision Number	Issues/Submission	Date

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Project

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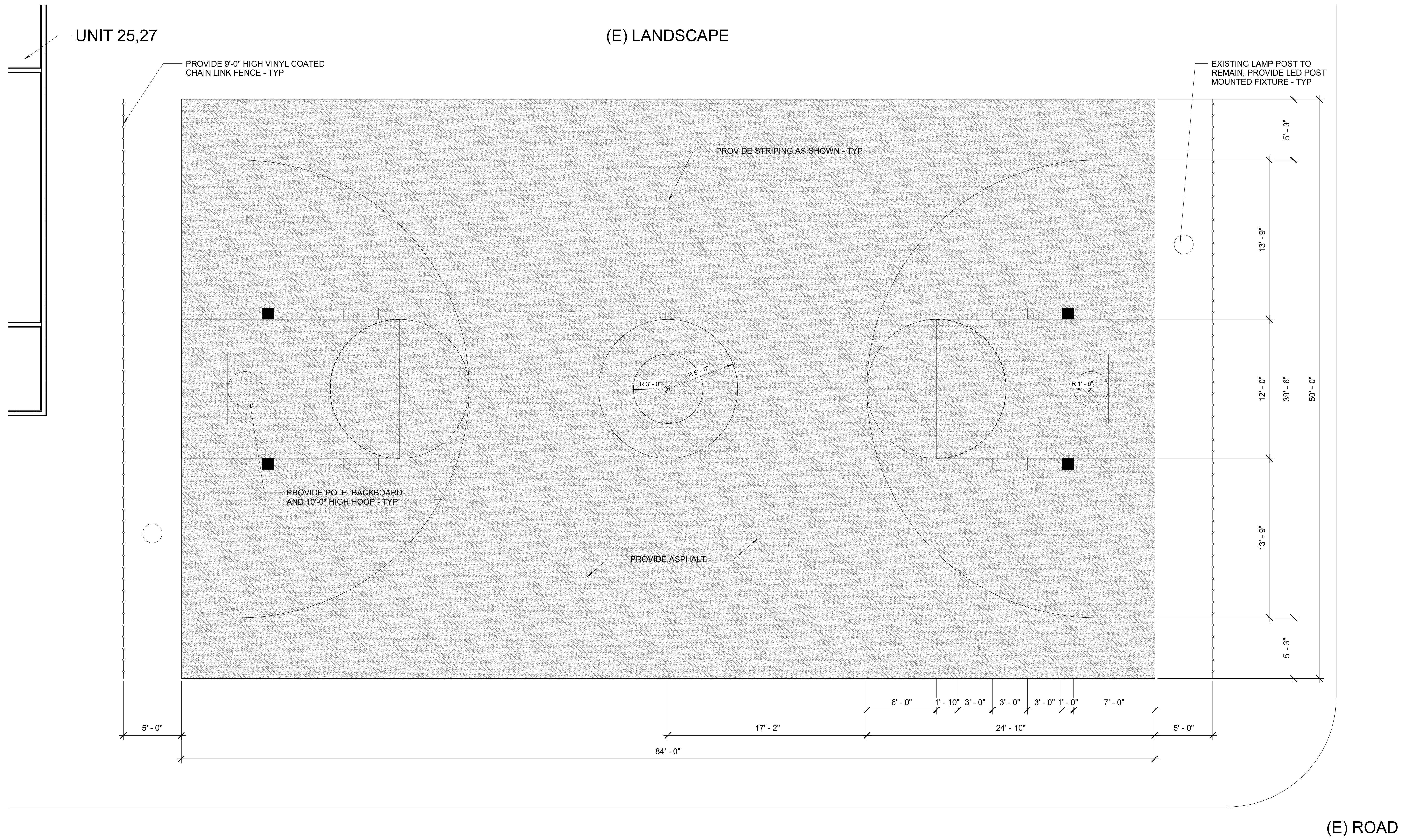
2215.00

Sheet

ENLARGED
BASKETBALL COURT
PLAN

A1.04

(E) LANDSCAPE



1 SITE PLAN - ENLARGED BASKETBALL COURT
SCALE: 1/4" = 1'-0"